

**B17A-308 COMPLIANCE NOTES:**

**1. LEFT SIDE CALCULATION FOR B17A-308 COMPLIANCE:**

$D = 6 + (2X) + L/10$   
 NOTE: ASSUMING A PRIMARY WALL AT HOUSE #16  
 $D = 6 + (2 \times 2) + 11.25/10$   
 $D = 6 + 4 + 1.125 = 11.125'$

"D" = 11.125' AND THERE WILL BE 21' BETWEEN THE EXISTING #16 HOUSE AND THE #22 PROPOSED ADDITION; THEREFORE THIS COMPLIES

1.) THE EXISTING WALL AT #16 IS CALCULATED AS A PRIMARY WALL AND BECAUSE 11.125' < THE 21' BETWEEN THE EXISTING AND PROPOSED BUILDINGS, THE PROPOSED ADDITION CAN ALSO BE A PRIMARY WALL AND THERE IS NO LIMIT TO THE AMOUNT OF WINDOWS IN THE PROPOSED ADDITION'S PRIMARY WALL.

2.) THE 21' IS MEASURED FROM THE EXISTING BAY WALL TO THE PROPOSED SECOND FLOOR WALL OF ADDITION AT #22. THIS IS THE POINT WHERE THE BUILDINGS ARE CLOSEST TO EACH OTHER.  
 NOTE: THERE IS A PROPOSED OPEN PORCH THAT IS 15.17' FROM THE EXISTING BAY, ASSUME THAT "D" IS MEASURED FROM WALL TO WALL AND NOT TO THE OPEN PORCH.  
 (HOWEVER, 11.125' < 15.17' ALSO)

3.) L = TO THE LENGTH OF THAT PORTION OF THE SHORTER WALL MEASURED FROM THAT POINT WHERE IT IS CLOSEST TO THE OPPOSITE WALL TO THE SHORTER END OF THE WALL, L = ACROSS THE EXISTING BAY WINDOW, USED 11.25' BECAUSE THIS PORTION OF THE HOUSE IS 2 STORY, SEE ATTACHED PHOTOS.

**2. RIGHT SIDE CALCULATION FOR B17A-383 COMPLIANCE:**

$D = 6 + (2X) + L/10$   
 NOTE: ASSUMING A PRIMARY WALL AT HOUSE #24  
 $D = 6 + (2 \times 2) + 11.5/10$   
 $D = 6 + 4 + 1.15 = 11.15'$

"D" = 11.15' AND THERE WILL BE 13.58' BETWEEN THE EXISTING #24 HOUSE AND THE #22 PROPOSED ADDITION; THEREFORE THIS COMPLIES

1.) THE EXISTING WALL AT #24 IS CALCULATED AS A PRIMARY WALL AND BECAUSE 11.15' < THE 13.58' BETWEEN THE EXISTING AND THE PROPOSED BUILDINGS, THE PROPOSED ADDITION CAN ALSO BE A PRIMARY WALL AND THERE IS NO LIMIT TO THE AMOUNT OF WINDOWS IN THE PROPOSED ADDITION'S PRIMARY WALL.

2.) THE 13.58' IS MEASURED FROM THE EXISTING HOUSE #24 TO THE PROPOSED ADDITION AT #22. THIS IS THE POINT WHERE THE BUILDINGS ARE CLOSEST TO EACH OTHER.

3.) L = TO THE LENGTH OF THAT PORTION OF THE SHORTER WALL MEASURED FROM THAT POINT WHERE IT IS CLOSEST TO THE OPPOSITE WALL TO THE SHORTER END OF THE WALL, L = ACROSS THE EXISTING BAY WINDOW, THIS PORTION OF THE HOUSE IS 2 STORY, SEE ATTACHED PHOTOS.

**TREE IDENTIFICATION LIST:**

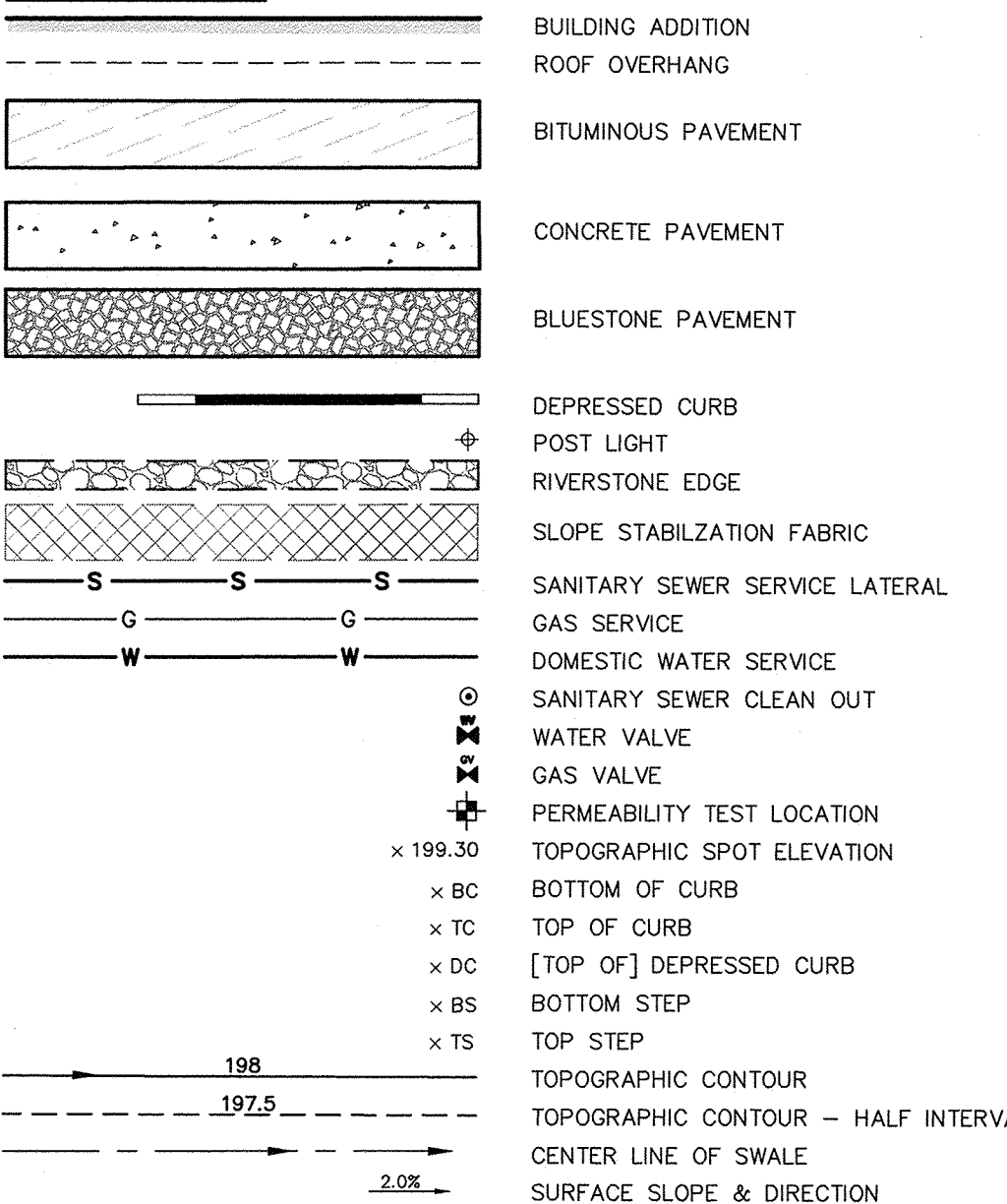
D.B.F.	TREE SURVEY	DIA.	HGT.
301	ASH	20	50
302	HEMLOCK	6	25
303	WITCH HAZEL	10	35
304	WITCH HAZEL	MULTI	15
305	NORTHERN MAPLE	21	60
307	NORTHERN MAPLE	12	50
308	ASH	32	60
309	ASH	21	50
310	NORTHERN MAPLE	24	60
311	RED MAPLE	9.9, 10.11	40
312	YEW	MULTI	10
313	RHODESIAN	4.6	10
314	RHODESIAN	MULTI	10

**TREE REMOVAL & REPLACEMENT LIST:**

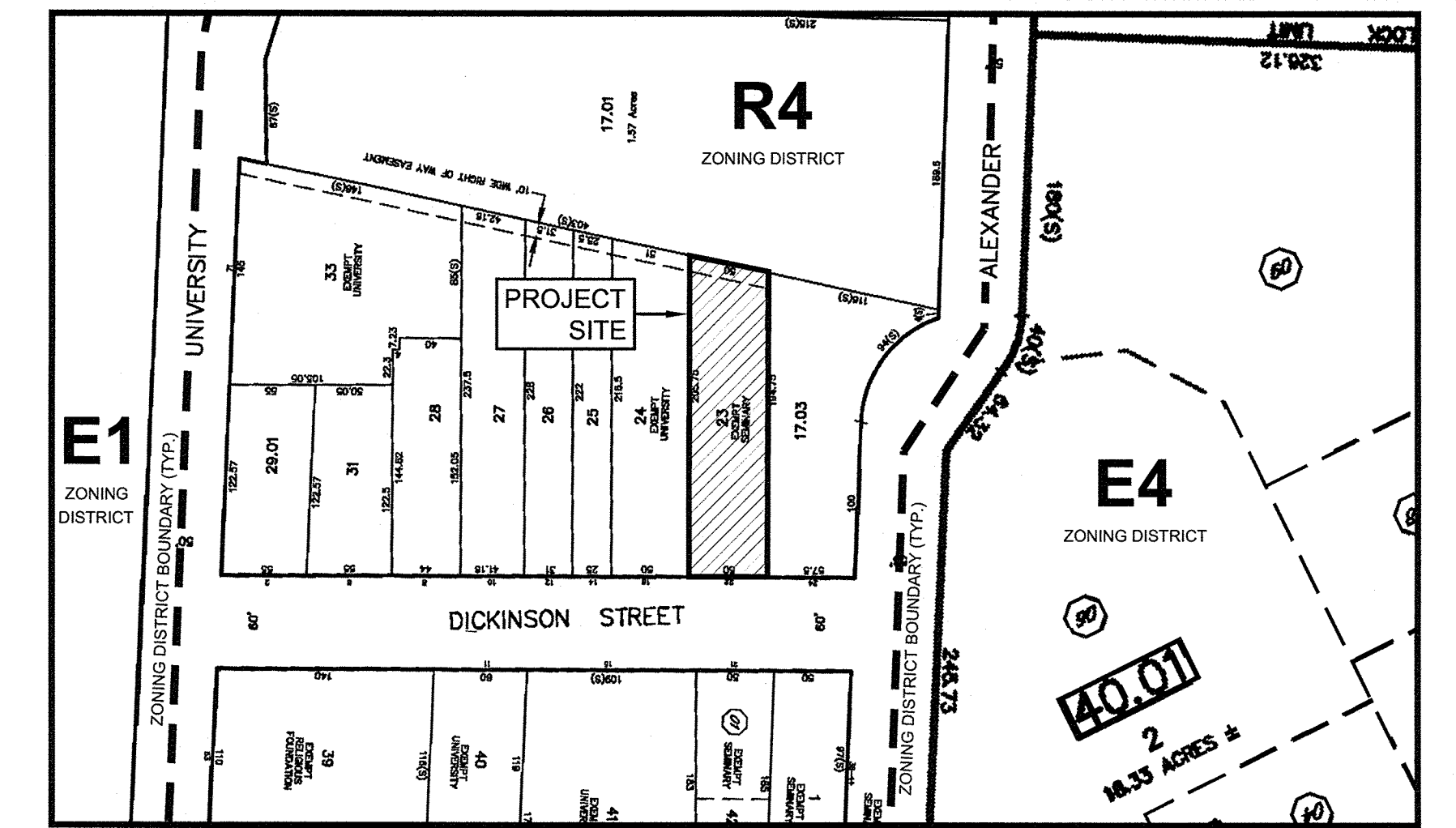
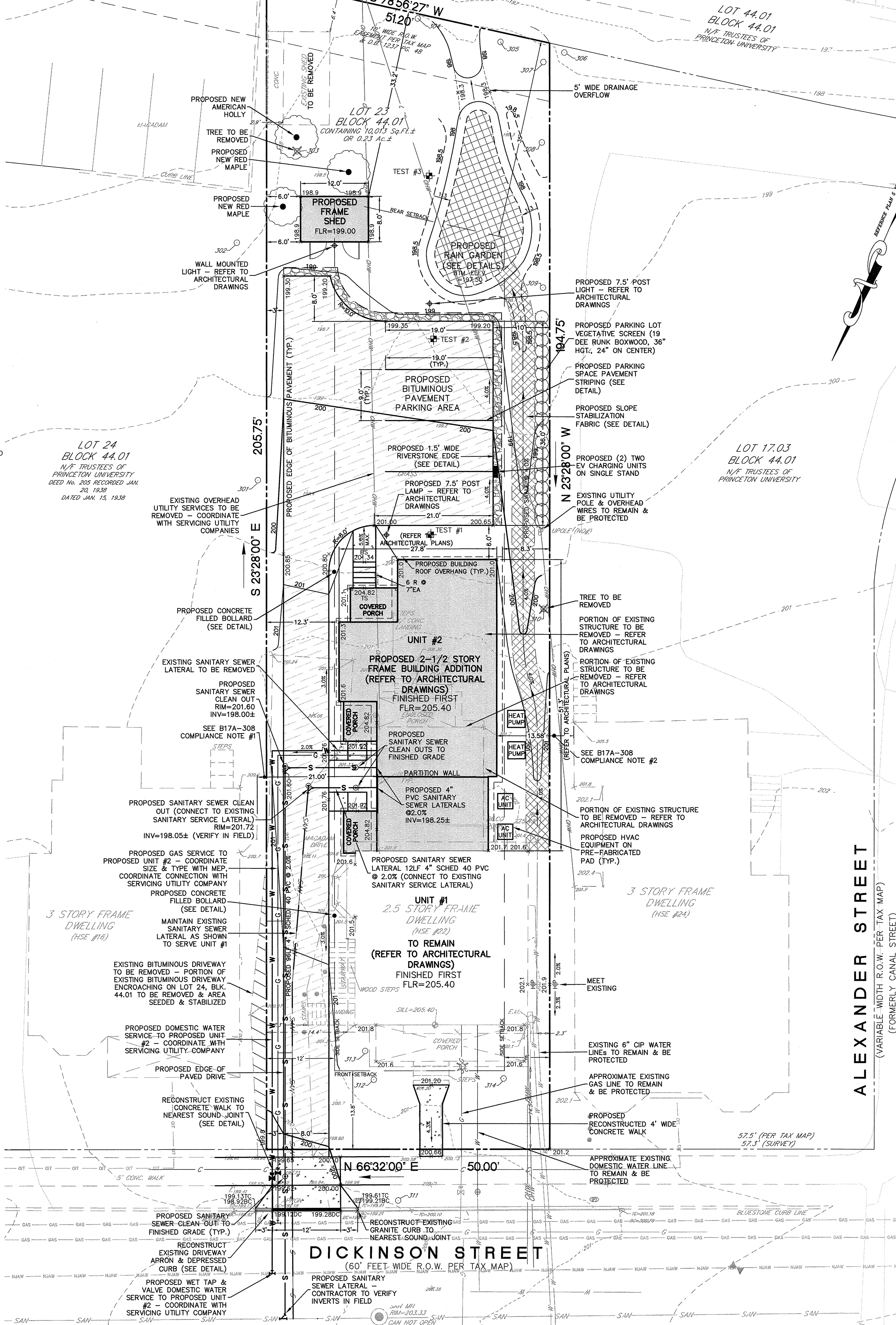
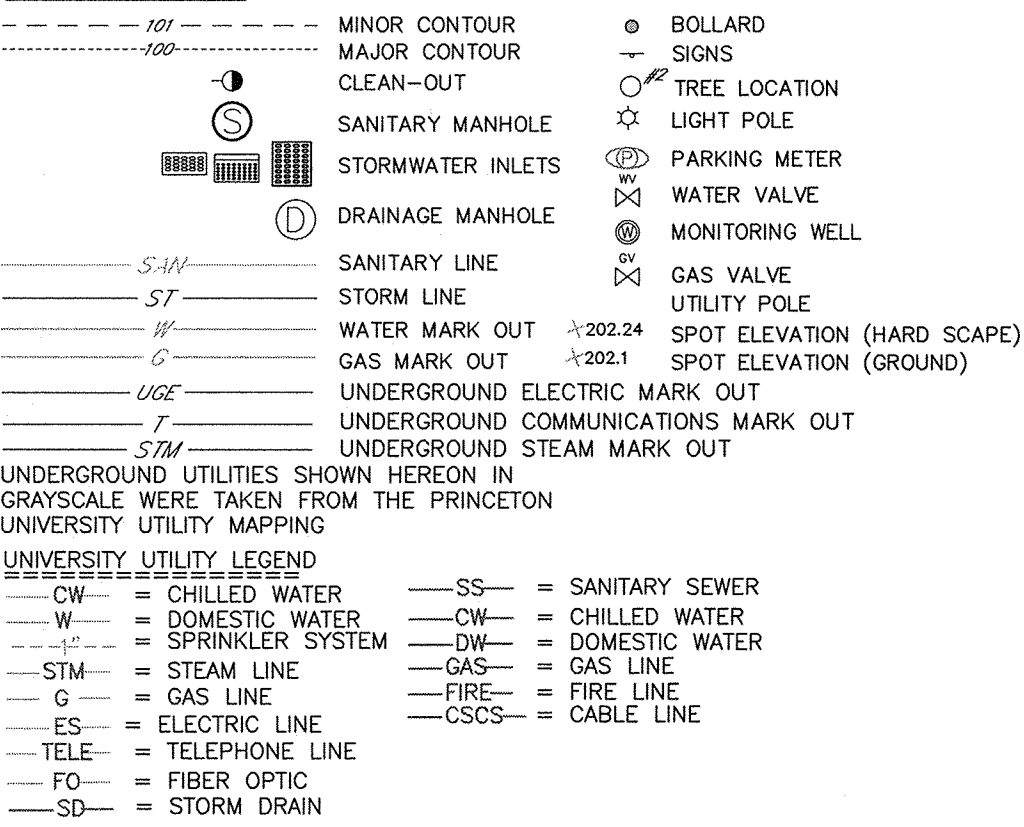
AS PER PRINCETON TOWNSHIP ORDINANCE, CHAPTER 22 TREES AND SHRUBS  
 REMOVAL OF #310 - 24" DBH NORTHERN MAPLE = 2 REPLACEMENT TREES REQUIRED  
 REPLACEMENT TREES TO BE 2 NEW RED MAPLES (2" CALIPER).  
 REMOVAL OF #303 - 10" DBH NORWAY SPRUCE = 1 REPLACEMENT TREE REQUIRED  
 REPLACEMENT TREE TO BE 1 NEW AMERICAN HOLLY (6' TALL)  
 TOTAL OF 3 NEW TREES REQUIRED - 2 NEW RED MAPLES (2" CALIPER) AND (1) AMERICAN HOLLY (6' TALL).  
 SEE PLAN FOR APPROXIMATE LOCATIONS OF NEW TREES.

NOTES:  
 1. TREE REMOVALS REQUIRE REMOVAL PERMIT APPROVAL FROM THE PRINCETON MUNICIPAL ARBORIST & REPLACEMENT IN ACCORDANCE WITH PRINCETON ORDINANCE 2020-28 SECTIONS 22-1 THROUGH 22-20.  
 2. ALL TREES WITHIN THE WORK AREA HAVE BEEN SHOWN AND LABELED.  
 3. TREES SHOWN ON THE SITE PLAN WITH AN "X" AND TREE NUMBERS SHOWN ON THE LIST WITH A LINE THROUGH THE NUMBER ARE PROPOSED TO BE REMOVED.  
 4. SEE TREE REMOVAL & REPLACEMENT LIST.

**PROPOSED LEGEND:**



**EXISTING LEGEND:**

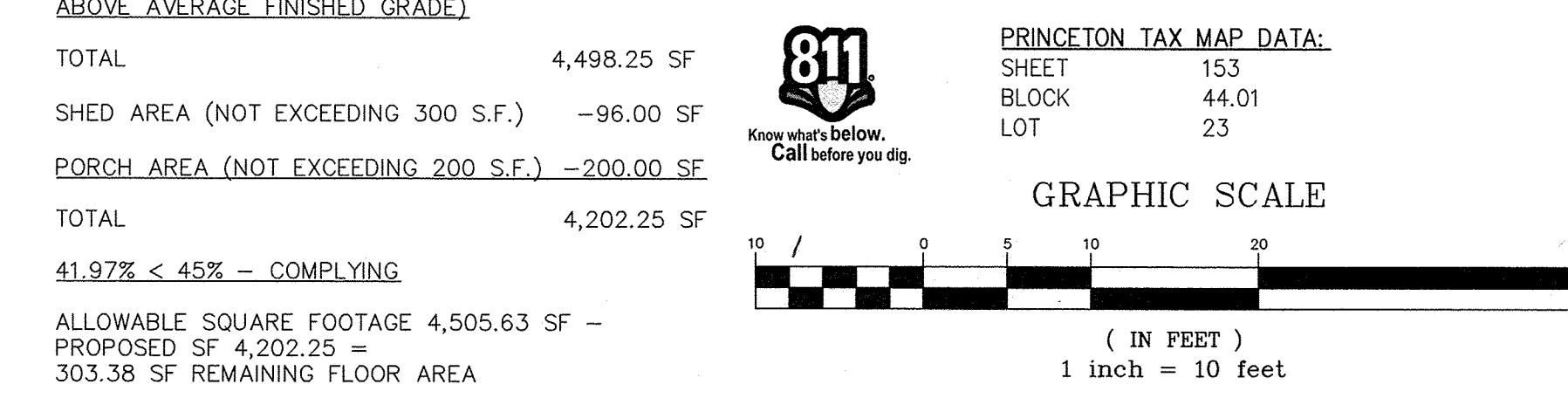


**ZONING SCHEDULE**

ITEM REGULATED	REQUIRED	PROPOSED	EXISTING	REMARKS & SEE NOTES TYPICAL
LOT AREA	6,000 SF.	UNCHANGED	234 ACRES 10,012.56 SF.	COMPLIES FOR SINGLE FAMILY
LOT AREA (TWO FAMILY)	3,300 SF PER UNIT	UNCHANGED	234 ACRES 10,012.56 SF.	COMPLIES FOR TWO FAMILY (6,600 SF MIN. LOT)
LOT AREA (EXIST. MULTIPLE DWELLING)	EXISTING	UNCHANGED	234 ACRES 10,012.56 SF.	LOT AREA FOR EXISTING MULTIPLE DWELLING
LOT WIDTH	60 FT	UNCHANGED	+/- 50.00 FT	EXISTING NON-COMPLYING
LOT DEPTH	100 FT	UNCHANGED	+/- 194.75 FT	COMPLIES
FRONT SETBACK (TWO FAMILY)	20 FT/13.8' PREVAILING	UNCHANGED	+/- 15.5 FT	COMPLIES
REAR SETBACK	35 FT	+/- 93.00 FT	---	COMPLIES
RIGHT SIDE SETBACK	6 FT (COMBINED SIDE 20)	+/- 9.33 FT TO ADDITION	+/- 3.80 FT	EXISTING NON-COMPLYING, ADDITION COMPLIES
LEFT SIDE SETBACK	12 FT (COMBINED SIDE 20)	+/- 12.75 FT TO ADDITION	+/- 7.27 FT TO STAIR	EXISTING NON-COMPLYING, ADDITION COMPLIES
COMBINED SIDE SETBACKS	20 FT COMBINED SIDES	+/- 22.08 FT TO ADDITION	+/- 11.07 FT (TO STAIR)	EXISTING NON-COMPLYING, ADDITION COMPLIES
BUILDING HEIGHT	35 FT OR 3 STORIES	+/- 32.08 FT & 2.5 STY	+/- 32.75 FT & 2.5 STY	COMPLIES
BUILDING SETBACK HT. RATIO	3.0:1	ADDITION COMPLIES*	EXISTING NON-COMPLYING	EXISTING NON-COMPLYING, ADDITION COMPLIES
LOT F.A.R. CALCULATION (TWO FAMILY 10,012.56 SF)	45% 4,505.63 SF ALLOWED	+/- 41.97% 4,157.50 SF	+/- 26.5% 2,653.16 SF	COMPLIES - 45% MAX. FOR TWO-FAMILY
IMPERVIOUS COVERAGE (10,012.56 SF)	49.5% 4,956.19 SF ALLOWED	+/- 48.88% 4,893.85 SF	+/- 27.24% 2,727.03 SF	COMPLIES
COVERAGE	30% 3,003.75 SF ALLOWED	+/- 24.44% 2,447.40 SF	+/- 17.31% 1,733.16 SF	COMPLIES

PROPOSED IMPERVIOUS COVERAGE	REFERENCE PLAN:
DWELLING, PORCH W/O.H.	2,632.25 SF
DRIVEWAY	2,309.78 SF
SHED	96.00 SF
SIDEWALKS/STAIRS	151.82 SF
TOTAL	5,189.85 SF
ALLOWABLE PORCH (UP TO 200 SF)	-200.00 SF
ALLOWABLE SHED (UP TO 300 SF)	-96.00 SF
ALLOWABLE UTILITY (UP TO 100 SF)	---
AC UNITS	0.00 SF
TOTAL	4,893.85 SF
4,893.85 SF (IMPERVIOUS COVERAGE) / 10,012.56 SF (LOT AREA) = 48.88%	

FLOOR AREA RATIO	GENERAL NOTES:
FIRST FLOOR AREA	2,024.61 SF
PORCH AREA (NON-ENCLOSED PORCHES UP TO 200 S.F.)	448.34 SF
SECOND FLOOR AREA	1,929.30 SF
ATTIC	0.00 SF
SHED	96.00 SF
BASEMENT FLOOR AREA (7'-0" CEILING HT AND UNDERSIDE OF STRUCTURE IS LESS THAN 4'-0" ABOVE AVERAGE FINISHED GRADE)	0.00 SF
TOTAL	4,498.25 SF
SHED AREA (NOT EXCEEDING 300 S.F.)	-96.00 SF
PORCH AREA (NOT EXCEEDING 200 S.F.)	-200.00 SF
TOTAL	4,202.25 SF
41.97% < 45% - COMPLYING	
ALLOWABLE SQUARE FOOTAGE 4,505.63 SF - PROPOSED SF 4,202.25 = 303.38 SF REMAINING FLOOR AREA	



**van note-harvey associates, inc.**  
 consulting engineers, planners & land surveyors  
 103 College Road East • Princeton, NJ 08540 • 609-987-2323  
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**SITE ENGINEERING PLAN**  
 OF  
**PROPOSED TWO FAMILY DWELLING**  
 22 DICKINSON STREET  
 PREPARED FOR  
**FRIARS' CLUB PARTNERS, LLC**  
 SITUATED IN  
 PRINCETON, NJ  
 SCALE 1" = 10'  
 DATE 03/28/22  
 DRAWN BY JRM  
 CHECKED BY BRP  
 DATE 03/28/22

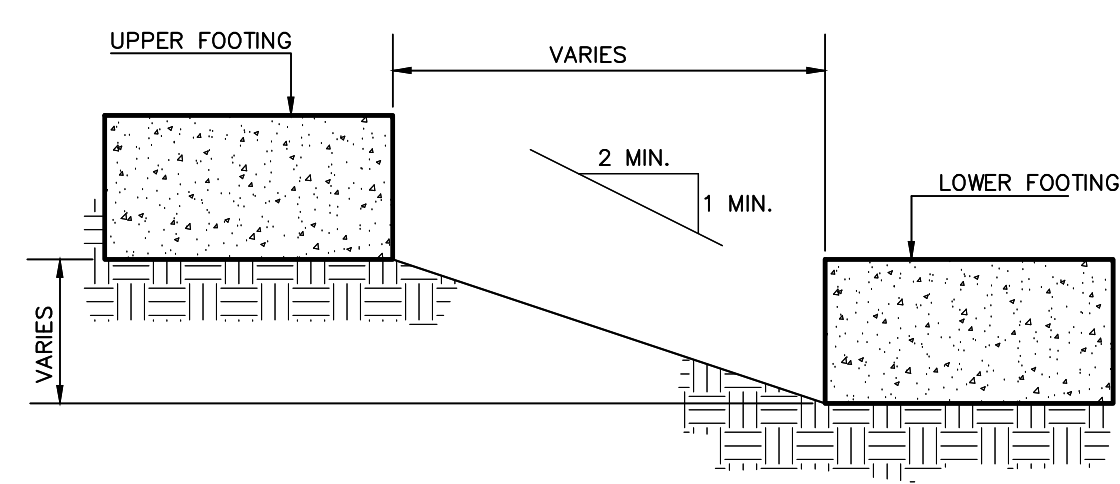
**BRIAN R. PERRY**  
 N.J. PROFESSIONAL ENGINEER LIC. NO. GE 45920

DATE OF SIGN: 03/28/2022

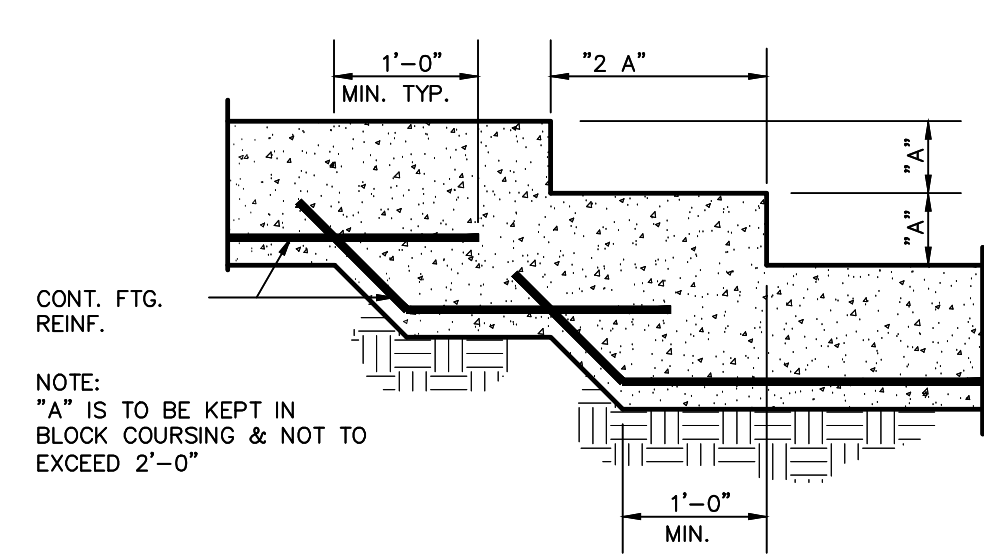
REV.	DESCRIPTION	DATE	DFT BY	CKD BY
1.	PER ZBA COMPLETENESS REVIEW	05/24/22	JRM	BRP

FIELD BK ORDER No. FILE No. SHEET No.  
 PAGE 45418-400-21 205-B-5 **CE-1**

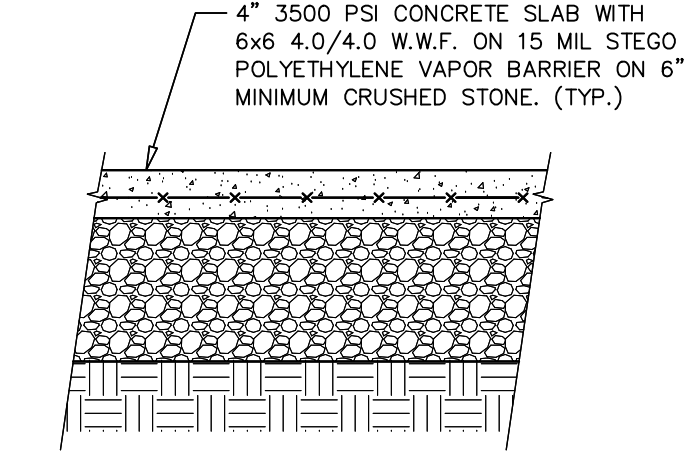




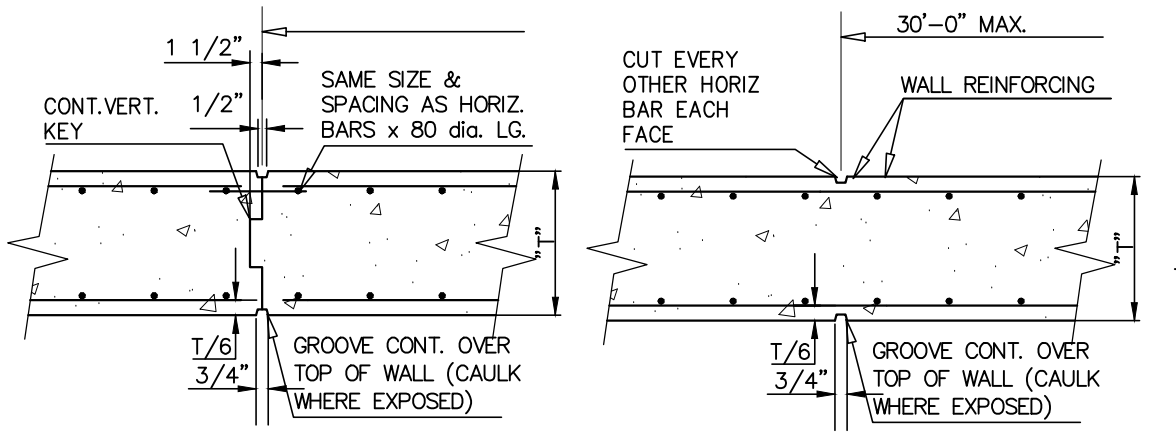
**A3** TYP. SLOPE BETWEEN FOOTINGS  
SCALE: 3/4" = 1'-0"



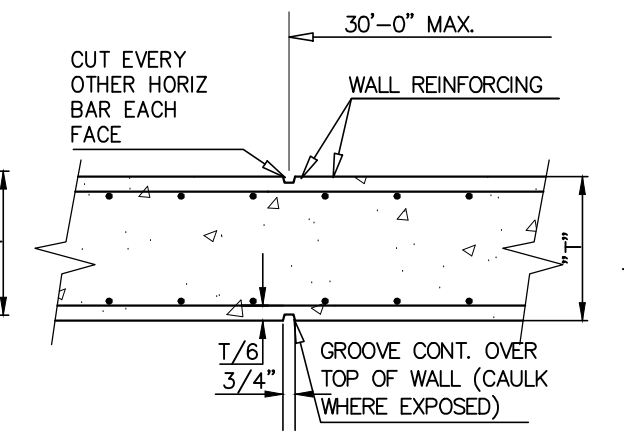
**A4** TYP. STEPPED FOOTING  
SCALE: 3/4" = 1'-0"



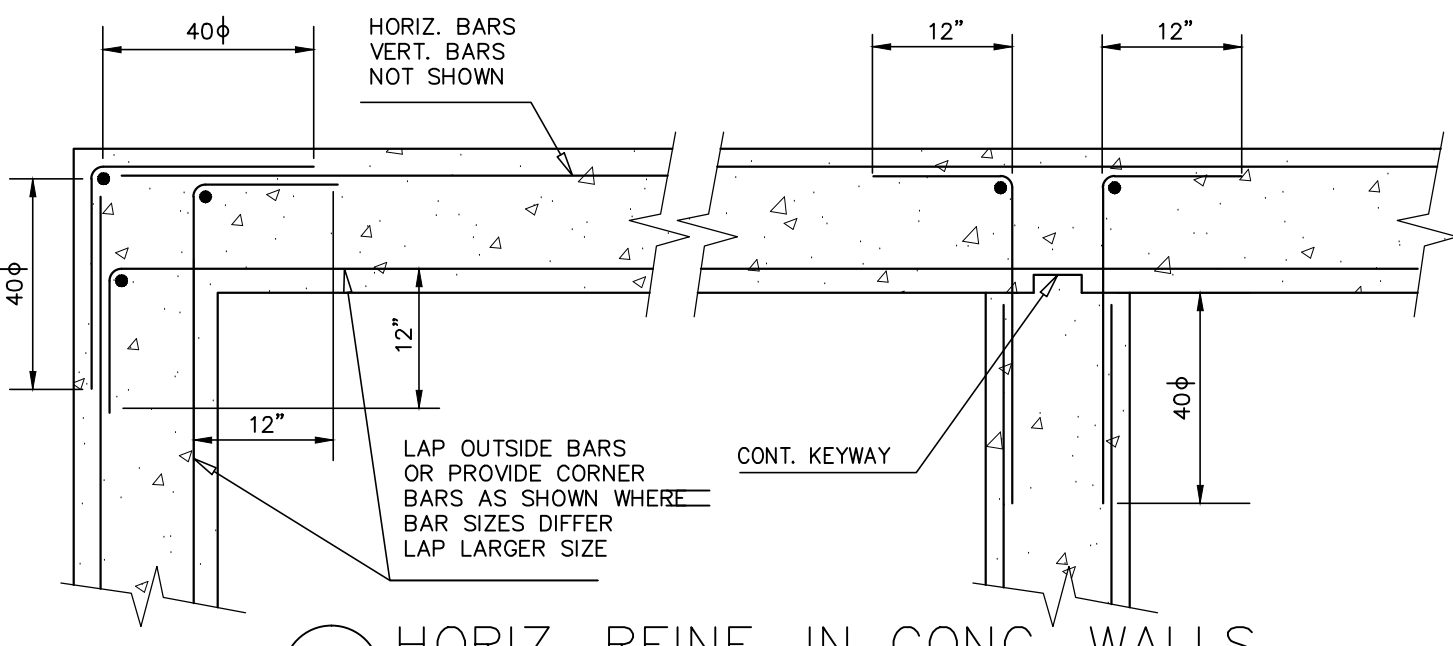
**A5** CONCRETE SLAB DETAIL  
SCALE: 3/4" = 1'-0"



**A6** CONCRETE WALL CONSTRUCTION JT.  
SCALE: 3/4" = 1'-0"

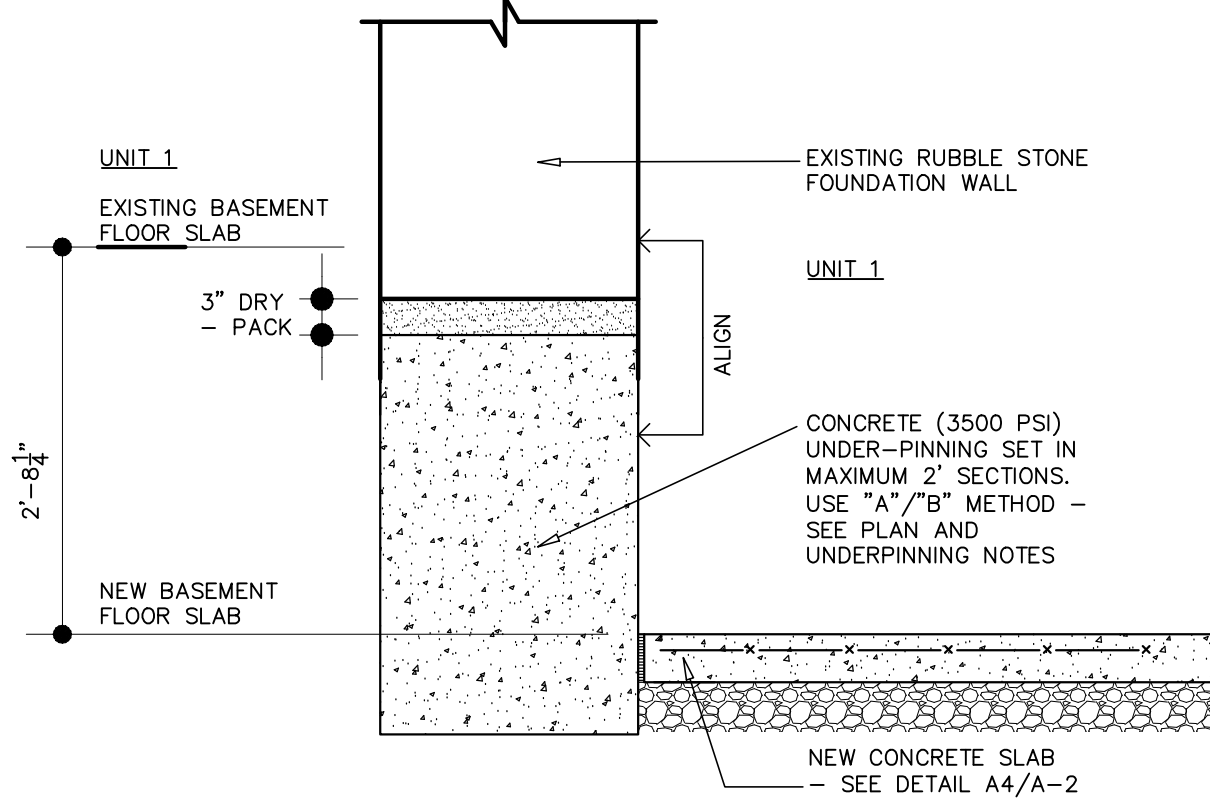


**A7** CONCRETE WALL CONTROL JOINT  
SCALE: 3/4" = 1'-0"



**A8** HORIZ. REINF. IN CONC. WALLS  
SCALE: 3/4" = 1'-0"

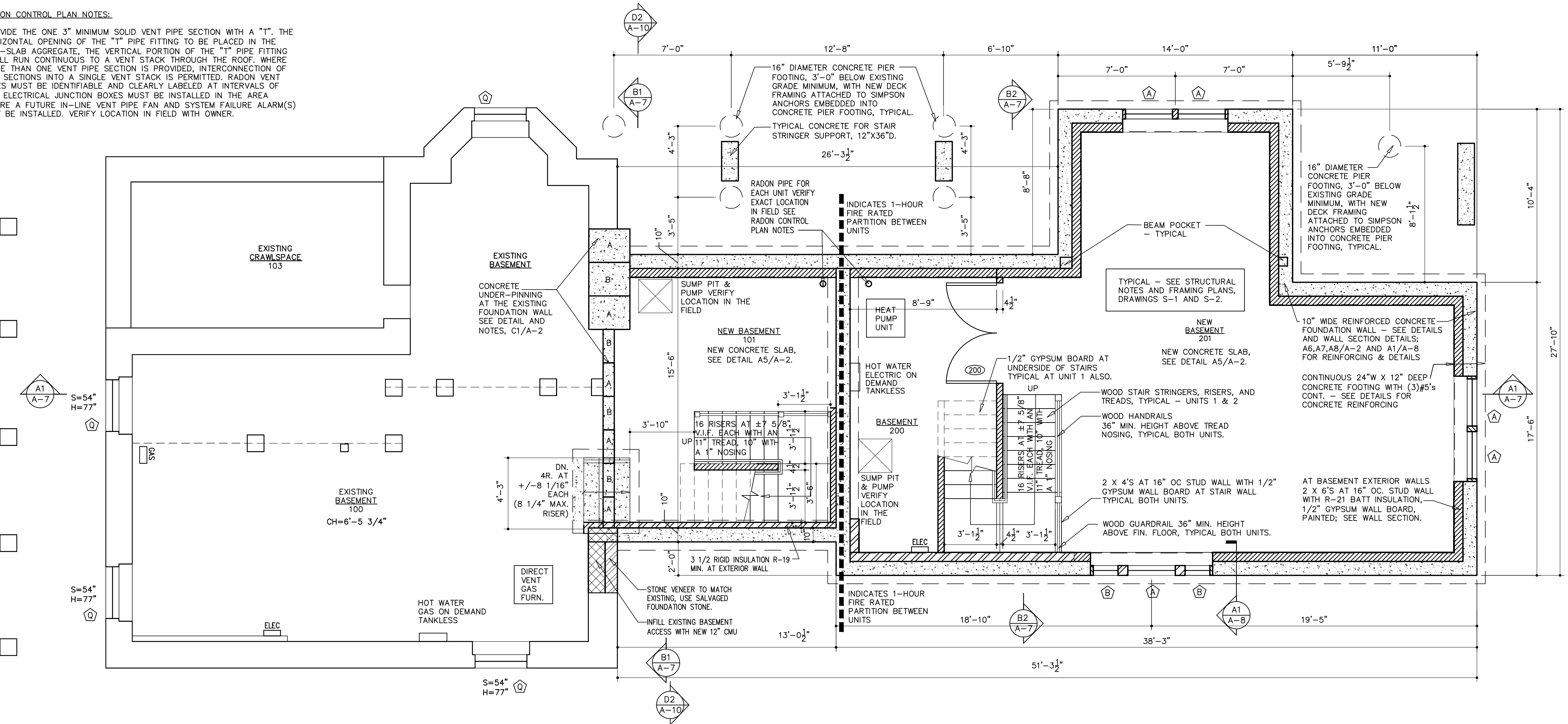
- UNDERPINNING NOTES:**
1. EXISTING WALL TO BE UNDERPINNED THE ENTIRE LENGTH SHOWN ON THE DRAWINGS IN 2'-0" MAXIMUM SECTIONS. DECREASE LENGTH OF SECTIONS IF PIECES OF EXISTING FOUNDATION WALL BECOME LOOSE.
  2. UNDERPIN WALLS IN ALTERNATING SEQUENCE, SKIPPING ONE 2 FOOT SECTIONS BETWEEN EACH UNDERPINNED SECTION.
  3. EXISTING STRUCTURE AND SOIL EXCAVATION TO BE SHORED DURING CONSTRUCTION.



**C1** TYPICAL UNDERPINNING DETAIL  
SCALE: 3/4" = 1'-0"

**RADON CONTROL PLAN NOTES:**

PROVIDE THE ONE 3" MINIMUM SOLID VENT PIPE SECTION WITH A "T". THE HORIZONTAL OPENING OF THE "T" PIPE FITTING TO BE PLACED IN THE SUB-SLAB AGGREGATE, THE VERTICAL PORTION OF THE "T" PIPE FITTING SHALL RUN CONTINUOUS TO A VENT STACK THROUGH THE ROOF. WHERE MORE THAN ONE VENT PIPE SECTION IS PROVIDED, INTERCONNECTION OF THE SECTIONS INTO A SINGLE VENT STACK IS PERMITTED. RADON VENT PIPES MUST BE IDENTIFIABLE AND CLEARLY LABELED AT INTERVALS OF 25'. ELECTRICAL JUNCTION BOXES MUST BE INSTALLED IN THE AREA WHERE A FUTURE IN-LINE VENT PIPE FAN AND SYSTEM FAILURE ALARM(S) MAY BE INSTALLED. VERIFY LOCATION IN FIELD WITH OWNER.



**B1** BASEMENT/FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

**SYMBOLS LEGEND**

- NEW DOOR
- EXISTING DOOR TO REMAIN
- EXISTING CONSTRUCTION TO REMAIN
- NEW 2x4 AT 16" O.C. STUD WALL CONSTRUCTION
- NEW 2x6 AT 16" O.C. STUD WALL CONSTRUCTION
- R-15 AND R-21 ROCKWOOL BATT INSULATION, TYPICAL AROUND ALL POWDER ROOMS, BATHROOMS, AND LAUNDRY ROOMS, AND IN ONE HOUR FIRE RATED PARTITION (SEE WALL DETAILS A2/A-4 AND A1/A8)

- NOTES:**
1. IF EXISTING EXTERIOR WALLS ARE EXPOSED INSULATE THOSE WALLS TO THE WIDTH OF THE EXISTING CAVITY.
  2. SEE STRUCTURAL DRAWINGS FOR STRUCTURAL FRAMING AND NOTES.
  3. NEW DIRECT VENT GAS FURNACES WITH INTAKE AND EXHAUST AIR - (1) UNIT IN BASEMENT MECH. ROOM, (1) UNIT LOCATED IN THE ATTIC.

**INTERIOR FINISH NOTES:**

1. REPAIR, PATCH, AND PREPARE ALL EXISTING AND NEW SURFACES TO RECEIVE NEW FLOOR FINISHES.
2. NEW VINYL FLOOR AT BASEMENT, SEE MANUFACTURER'S SPECIFICATIONS FOR REQUIREMENTS.
3. PORCELAIN & CERAMIC TILE: TILE AND TILE BASE. COLOR AS SELECTED BY OWNER. PATCH/REPAIR/PREPARE NEW AND EXISTING FLOOR AND WALL SURFACES TO RECEIVE NEW TILE FLOOR AND TILE BASE.
4. PROVIDE WATER RESISTANT GREEN BOARD AT BATHROOMS.
5. PROVIDE SOUND BATT INSULATION AT INTERIOR BATHROOM AND LAUNDRY ROOM WALLS.
6. ALL COLORS AS SELECTED BY OWNER.
7. PROVIDE NEW 1/2" AND 5/8" TYPE-X, FIRE RATED GYPSUM BOARD INTERIOR FINISH AS SHOWN ON PLANS AND DETAILS; 1/2" MOISTURE AND MOLD RESISTANT GWB AT ALL BATHROOM WALLS; 1/2" CEMENT BACKER BOARD AT TILE WALLS.
8. INTERIOR CASING AS SELECTED BY OWNER.

**Ronica A. Bregenger, Architect LLC**  
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NJ.Cert. Auth. No. 21AC0096600  
NJ.Lic. No. 21A101135100  
Ronica A. Bregenger, Architect

**SIGNATURE** \_\_\_\_\_ **DATE** \_\_\_\_\_  
**PROJECT:**

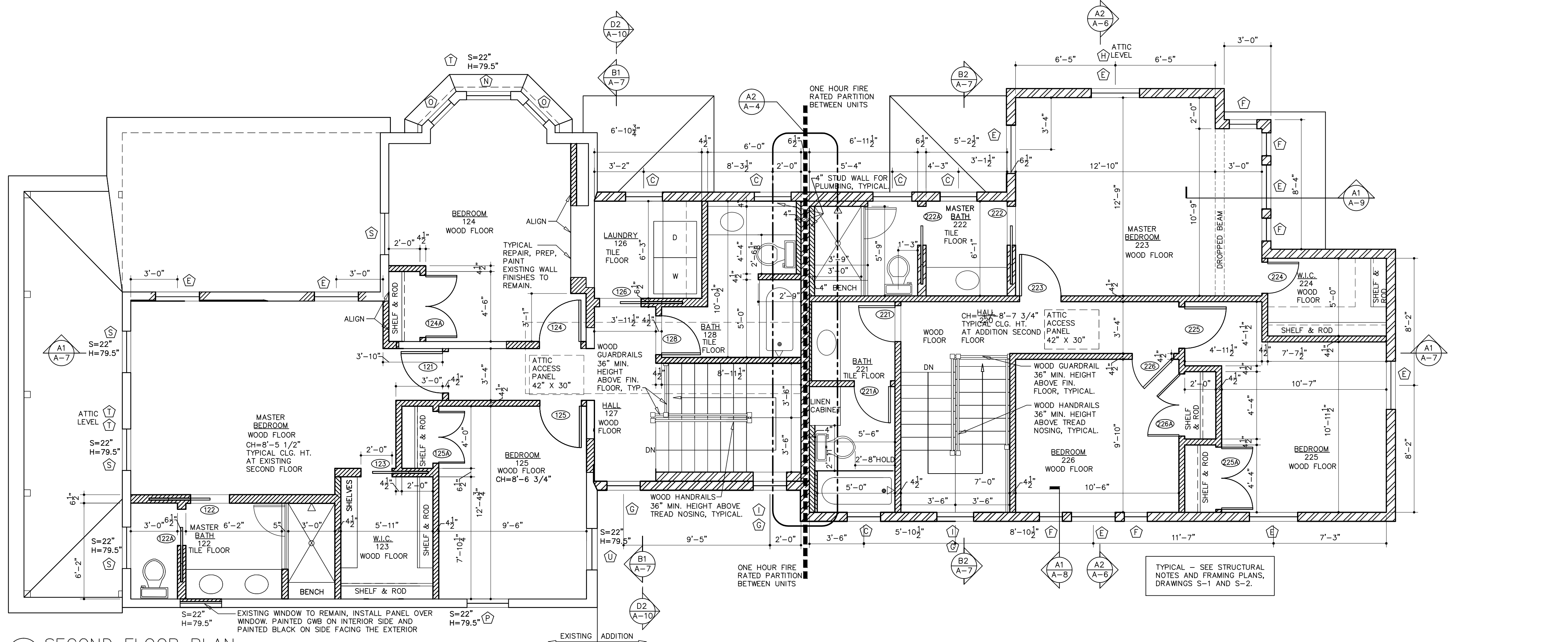
TWO-FAMILY DWELLING  
FRIARS' CLUB PARTNERS, LLC  
AT 22 DICKINSON STREET  
PRINCETON, NEW JERSEY 08540

**REVISIONS:** \_\_\_\_\_ **DATE** \_\_\_\_\_

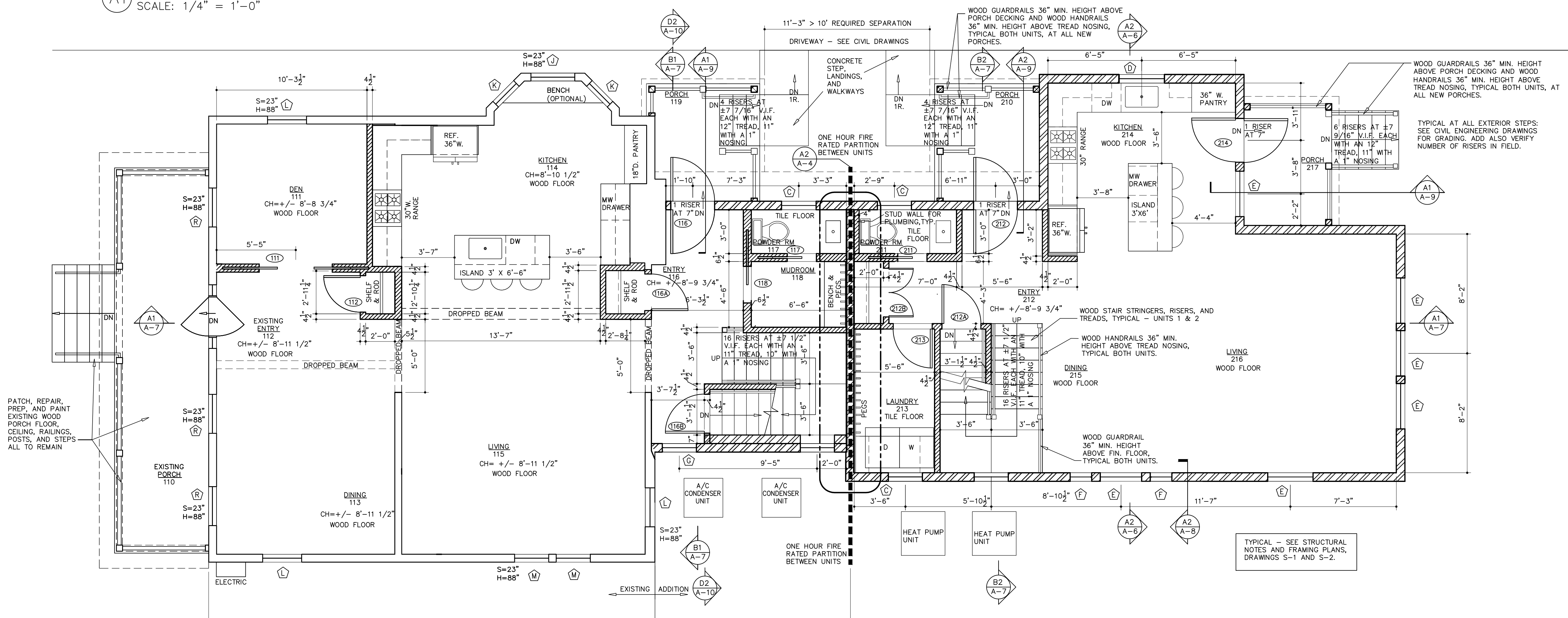
PERMIT ISSUE 12-04-22  
STAIR UNIT 2, BSMT.WALL 01-03-23  
COONSTRUCTION ISSUE 02-06-23

**SCALE** AS NOTED **DRAWN** M.R.  
**DATE** 12-04-22 **CHECK** R.A.B.

BASEMENT/FOUNDATION PLAN **A-2**



**A1** SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



**B1** FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**SYMBOLS LEGEND**

- NEW DOOR
- EXISTING DOOR TO REMAIN
- EXISTING CONSTRUCTION TO REMAIN
- NEW 2x4 AT 16" O.C. STUD WALL CONSTRUCTION
- NEW 2x6 AT 16" O.C. STUD WALL CONSTRUCTION
- R-15 AND R-21 ROCKWOOL BATT INSULATION, TYPICAL AROUND ALL POWDER ROOMS, BATHROOMS, AND LAUNDRY ROOMS, AND IN ONE HOUR FIRE RATED PARTITION (SEE WALL DETAILS A2/A-4 AND A1/A8)

- NOTES:**
1. IF EXISTING EXTERIOR WALLS ARE EXPOSED INSULATE THOSE WALLS TO THE WIDTH OF THE EXISTING CAVITY.
  2. SEE STRUCTURAL DRAWINGS FOR STRUCTURAL FRAMING AND NOTES.
  3. NEW DIRECT VENT GAS FURNACES WITH INTAKE AND EXHAUST AIR - (1) UNIT IN BASEMENT MECH. ROOM, (1) UNIT LOCATED IN THE ATTIC.
- INTERIOR FINISH NOTES:**
1. REPAIR, PATCH, AND PREPARE ALL EXISTING AND NEW SURFACES TO RECEIVE NEW FLOOR FINISHES.
  2. NEW VINYL FLOOR AT BASEMENT, SEE MANUFACTURER'S SPECIFICATIONS FOR REQUIREMENTS.
  3. PORCELAIN & CERAMIC TILE: TILE AND TILE BASE, COLOR AS SELECTED BY OWNER. PATCH/REPAIR/PREPARE NEW AND EXISTING FLOOR AND WALL SURFACES TO RECEIVE NEW TILE FLOOR AND TILE BASE.
  4. PROVIDE WATER RESISTANT GREEN BOARD AT BATHROOMS.
  5. PROVIDE SOUND BATT INSULATION AT INTERIOR BATHROOM AND LAUNDRY ROOM WALLS.
  6. ALL COLORS AS SELECTED BY OWNER.
  7. PROVIDE NEW 1/2" AND 5/8" TYPE-X, FIRE RATED GYPSUM BOARD INTERIOR FINISH AS SHOWN ON PLANS AND DETAILS; 1/2" MOISTURE AND MOLD RESISTANT GWB AT ALL BATHROOM WALLS; 1/2" CEMENT BACKER BOARD AT TILE WALLS.
  8. INTERIOR CASING AS SELECTED BY OWNER.

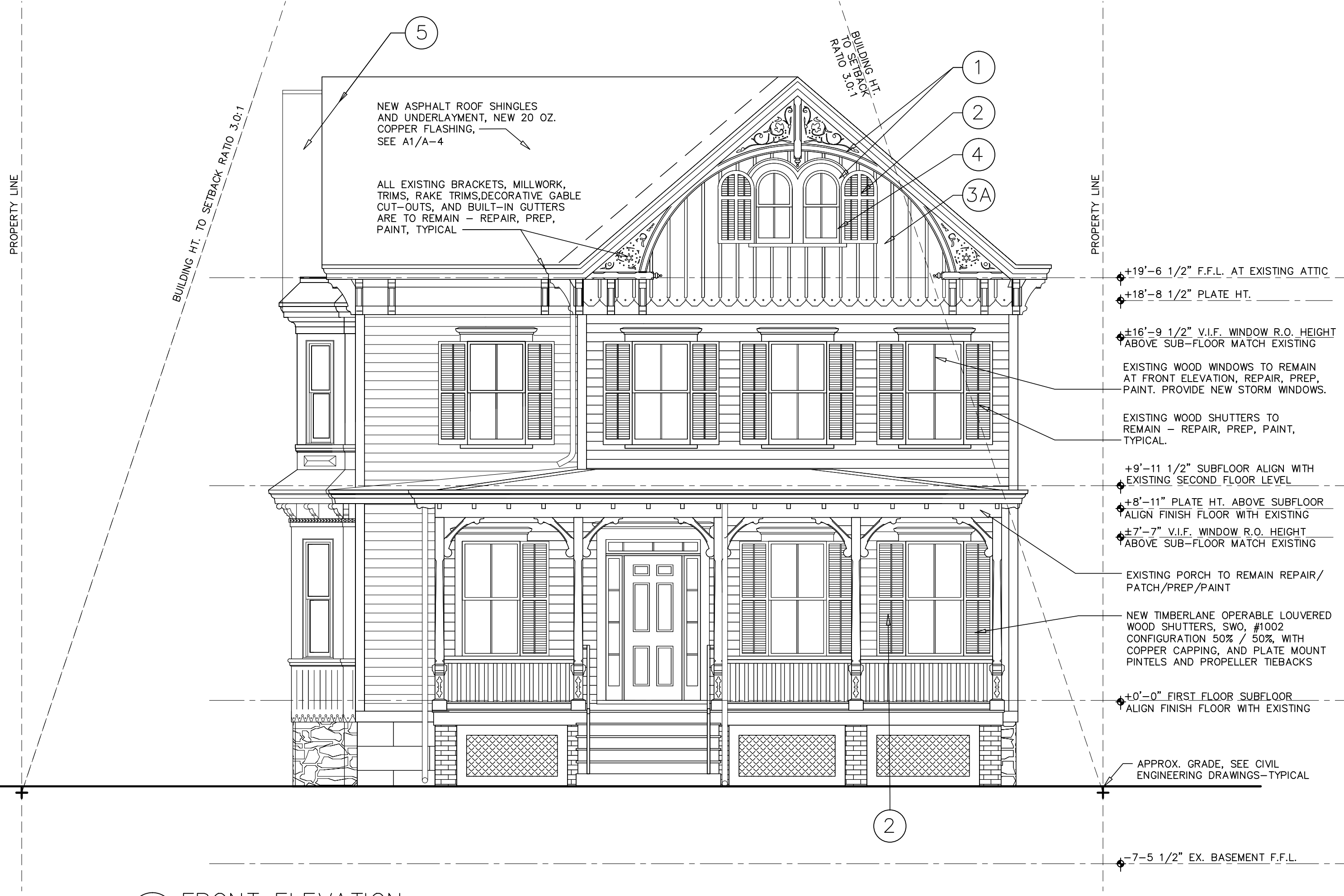
**Ronica A. Bregenger, Architect LLC**  
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Ronica A. Bregenger, Architect

SIGNATURE	DATE		
<b>PROJECT:</b>			
TWO-FAMILY DWELLING FRIARS' CLUB PARTNERS, LLC AT 22 DICKINSON STREET PRINCETON, NEW JERSEY 08540			
REVISIONS:	DATE		
PERMIT ISSUE	12-04-22		
BATH 221	01-03-23		
CONSTRUCTION ISSUE	02-06-23		
SCALE	AS NOTED	DRAWN	M.R.
DATE	12-04-22	CHECK	R.A.B.
FIRST AND SECOND FLOOR PLANS			<b>A-3</b>

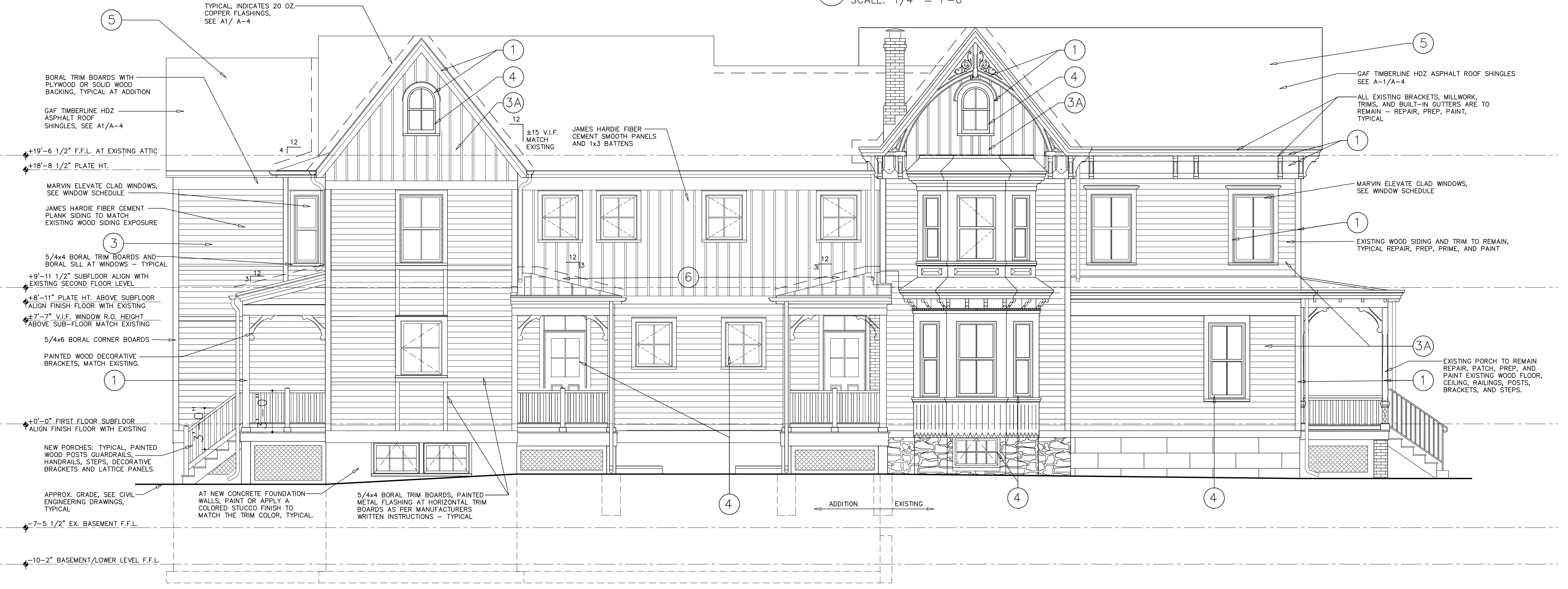
## WINDOW SCHEDULE

KEY	WINDOW FRAME SIZE	TYPE	UNIT No.	MANUFACTURER	NUMBER OF UNITS	REMARKS
(A)	3'-4" x 2'-3 1/8"	AWNING	ELAWN4127	MARVIN	5	TEMPERED
(B)	2'-0" x 2'-3 1/8"	AWNING	ELAWN2527	MARVIN	2	TEMPERED
(C)	2'-8" x 3'-3 1/8"	CASEMENT	ELCA3339	MARVIN	8	TEMPERED
(D)	3'-0" x 3'-11 5/8"	CASEMENT	ELCA3747	MARVIN	1	TEMPERED
(E)	3'-1 1/2" x 4'-11 3/4"	DOUBLE HUNG	ELDH3860	MARVIN	14	EGRESS, SASH LIMITER
(F)	1'-9 1/2" x 4'-11 3/4"	DOUBLE HUNG	ELDH2260	MARVIN	7	WINDOW SASH LIMITER
(G)	2'-7 1/2" x 4'-11 3/4"	DOUBLE HUNG	ELDH3260	MARVIN	4	TEMPERED, SASH LIMITER
(H)	2'-0" x 3'-4 1/4" SASH SIZE V.I.F.	FIXED	ULTIMATE SPECIALTY SHAPE, CUSTOM	MARVIN	1	TEMPERED, MATCH EXISTING ATTIC WINDOWS. VERIFY FRAME SIZE AND MULLIONS, V.I.F.
(I)	2'-8" x 3'-3 1/8"	CASEMENT, FIXED	ELCA3339	MARVIN	2	TEMPERED, FIXED
(J)	3'-0" x 5'-5" SASH SIZE V.I.F.	DOUBLE HUNG, MATCH EXISTING V.I.F.	ELEVATE DOUBLE HUNG INSERT	MARVIN	1	---
(K)	2'-0" x 5'-5" SASH SIZE V.I.F.	DOUBLE HUNG, MATCH EXISTING V.I.F.	ELEVATE DOUBLE HUNG INSERT	MARVIN	2	---
(L)	2'-8" x 5'-5" SASH SIZE V.I.F.	DOUBLE HUNG, MATCH EXISTING V.I.F.	ELEVATE DOUBLE HUNG INSERT	MARVIN	3	---
(M)	2'-4" x 5'-5" SASH SIZE V.I.F.	DOUBLE HUNG, MATCH EXISTING V.I.F.	ELEVATE DOUBLE HUNG INSERT	MARVIN	2	---
(N)	2'-10" x 4'-10" SASH SIZE V.I.F.	CASEMENT, MATCH EXISTING V.I.F.	ELEVATE CASEMENT	MARVIN	1	EGRESS, MULLIONS AND LOCK RAIL TO MATCH DOUBLE HUNG, SASH LIMITER
(O)	1'-10" x 4'-10" SASH SIZE V.I.F.	DOUBLE HUNG, MATCH EXISTING V.I.F.	ELEVATE DOUBLE HUNG INSERT	MARVIN	2	WINDOW SASH LIMITER
(P)	2'-8" x 4'-10" SASH SIZE V.I.F.	DOUBLE HUNG, MATCH EXISTING V.I.F.	ELEVATE DOUBLE HUNG INSERT	MARVIN	1	WINDOW SASH LIMITER
(Q)	1'-11" x 3'-1" SASH SIZE V.I.F.	EXISTING AWNING	EXISTING TO REMAIN	---	4	---
(R)	2'-8" x 5'-5" SASH SIZE V.I.F.	EXISTING DOUBLE HUNG	EXISTING TO REMAIN	---	3	---
(S)	2'-8" x 4'-10" SASH SIZE V.I.F.	EXISTING DOUBLE HUNG	EXISTING TO REMAIN	---	4	REGLAZE W/TEMPERED GL. AT NEW BATH OR WITH APPROVAL OF AHJ FILM COVER
(T)	2'-0" x 3'-4 1/4" SASH SIZE V.I.F.	EXISTING DOUBLE HUNG	EXISTING TO REMAIN	---	3	---
(U)	2'-8" x 4'-10" SASH SIZE V.I.F.	CASEMENT, MATCH EXISTING V.I.F.	ULTIMATE CASEMENT	MARVIN	1	EGRESS, MULLIONS AND LOCK RAIL TO MATCH DOUBLE HUNG, SASH LIMITER

- NOTES:
- MARVIN CLAD ELEVATE DOUBLE HUNG UNITS, ELEVATE INSERTS, AND ELEVATE CASEMENT. EXTERIOR COLOR: EBONY. GLAZING: LOW E2 GLAZING, SIMULATED DIVIDED LITES WITH BLACK SPACER BAR. MULLIONS, 7/8" WIDTH, SEE ELEVATIONS FOR PATTERNS. EXTERIOR, BLACK WEATHER STRIPPING PACKAGE. TYPICAL, PAIRS AND TRIPLE WINDOW UNITS ARE SEPARATED WITH (1) 2 X 6 BETWEEN EACH UNIT.
  - CONTRACTOR TO VERIFY ALL QUANTITIES AND ROUGH OPENINGS IN FIELD PRIOR TO SUBMITTING SHOP DRAWINGS.
  - ALL WINDOW HARDWARE TO BE AS SELECTED BY OWNER.
  - PROVIDE FULL SCREENS AT ALL OPERABLE UNITS WITH EBONY ALUMINUM SURROUND.
  - MATCH SASH SIZES V.I.F.



(A1) FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



(B1) LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

## ELEVATION KEY TO PAINT COLORS & ROOF SELECTIONS FOR HOUSE, ADDITION AND NEW SHED

- NEW AND EXISTING TRIMS, BRACKETS, SOFFITS, FASCIAS, PORCH POSTS, RAILINGS, PORCH FLOORS:  
BENJAMIN MOORE  
COLOR: 1035 CAMBRIDGE RIVERBED
- TIMBERLANE SHUTTERS AT FIRST FLOOR FRONT ELEVATION & ADDITION REAR ELEVATION:  
COLOR: OLD ESSEX GREEN
- JAMES HARDIE PLANK LAP CEMENT SIDING AT ADDITION:  
COLOR: MONTEREY TAUPE  
NOTE: JAMES HARDIE PLANK LAP CEMENT SIDING WILL BE SMOOTH FACED. JAMES HARDIE PLANK LAP CEMENT SIDING TO BE 5" EXPOSURE, TO MATCH EXISTING WOOD CLAPBOARD SIDING EXPOSURE.
- EXISTING WOOD CLAPBOARD SIDING (5" EXPOSURE) TO REMAIN AND NEW AND EXISTING PORCH CEILINGS:  
ALL TO BE PAINTED TO MATCH JAMES HARDIE'S MONTEREY TAUPE. HARDIE PLANK LAP SIDING COLOR.
- NEW MARVIN ELEVATE WINDOWS:  
COLOR: EBONY
- EXISTING FRONT WOOD WINDOWS TO REMAIN ARE TO BE PAINTED TO MATCH MARVIN'S EBONY WINDOW COLOR. EXISTING FRONT WINDOWS ARE TO HAVE NEW STORM WINDOWS.  
COLOR: EBONY/BLACK
- EXTERIOR DOORS, EXISTING AND NEW, ARE TO BE PAINTED TO MATCH MARVIN'S EBONY WINDOW COLOR.
- ASPHALT SHINGLE ROOF FOR EXISTING AND ADDITION ROOFS, AND NEW SHED ROOF:  
GAF TIMBERLINE HDZ  
COLOR: CHARCOAL
- STANDING SEAM METAL ROOFS AT NEW PORCHES AT ADDITION:  
DREXEL METAL  
COLOR: MATTE BLACK

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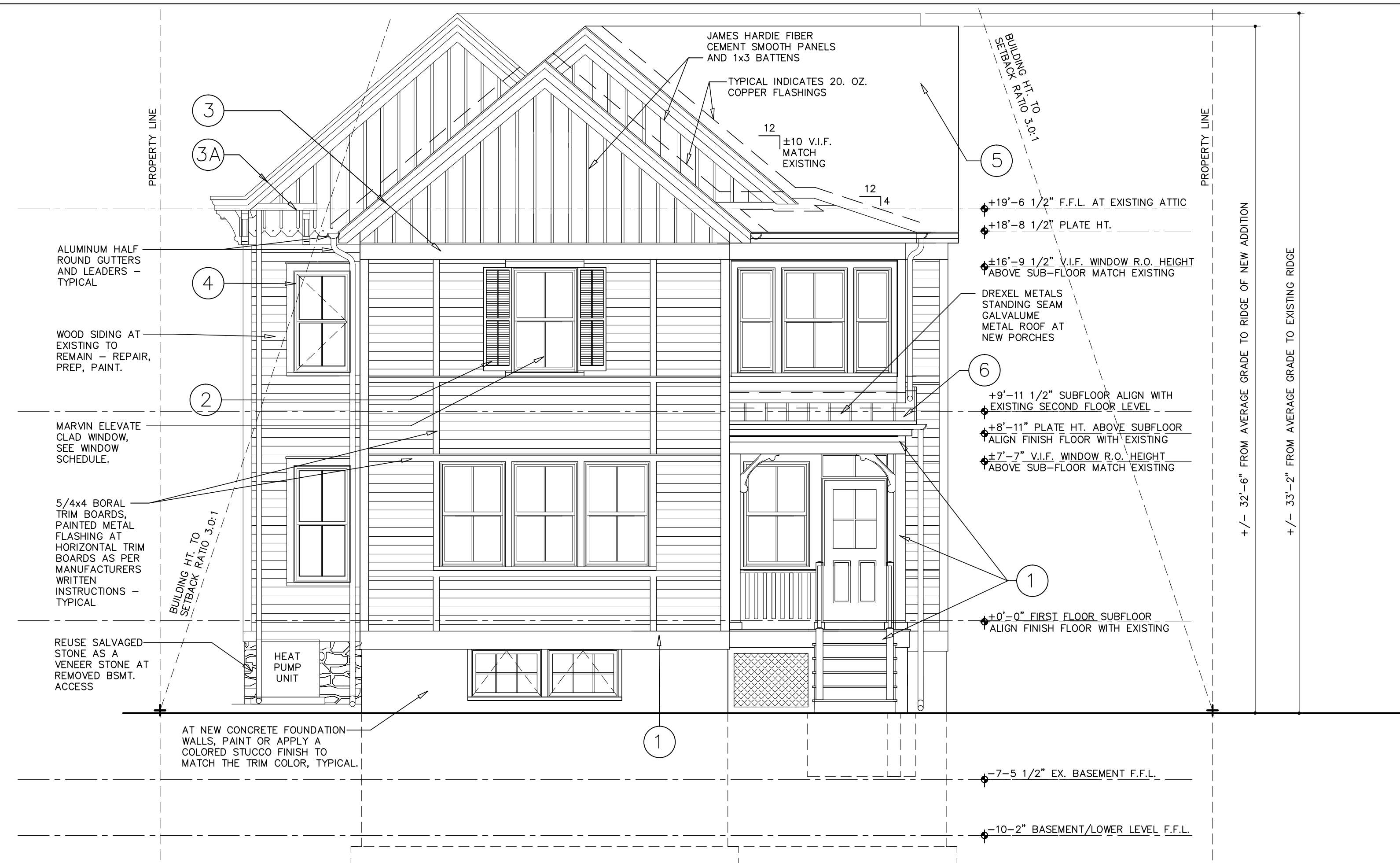
SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
PROJECT:

TWO-FAMILY DWELLING  
FRIARS' CLUB PARTNERS, LLC  
AT 22 DICKINSON STREET  
PRINCETON, NEW JERSEY 08540

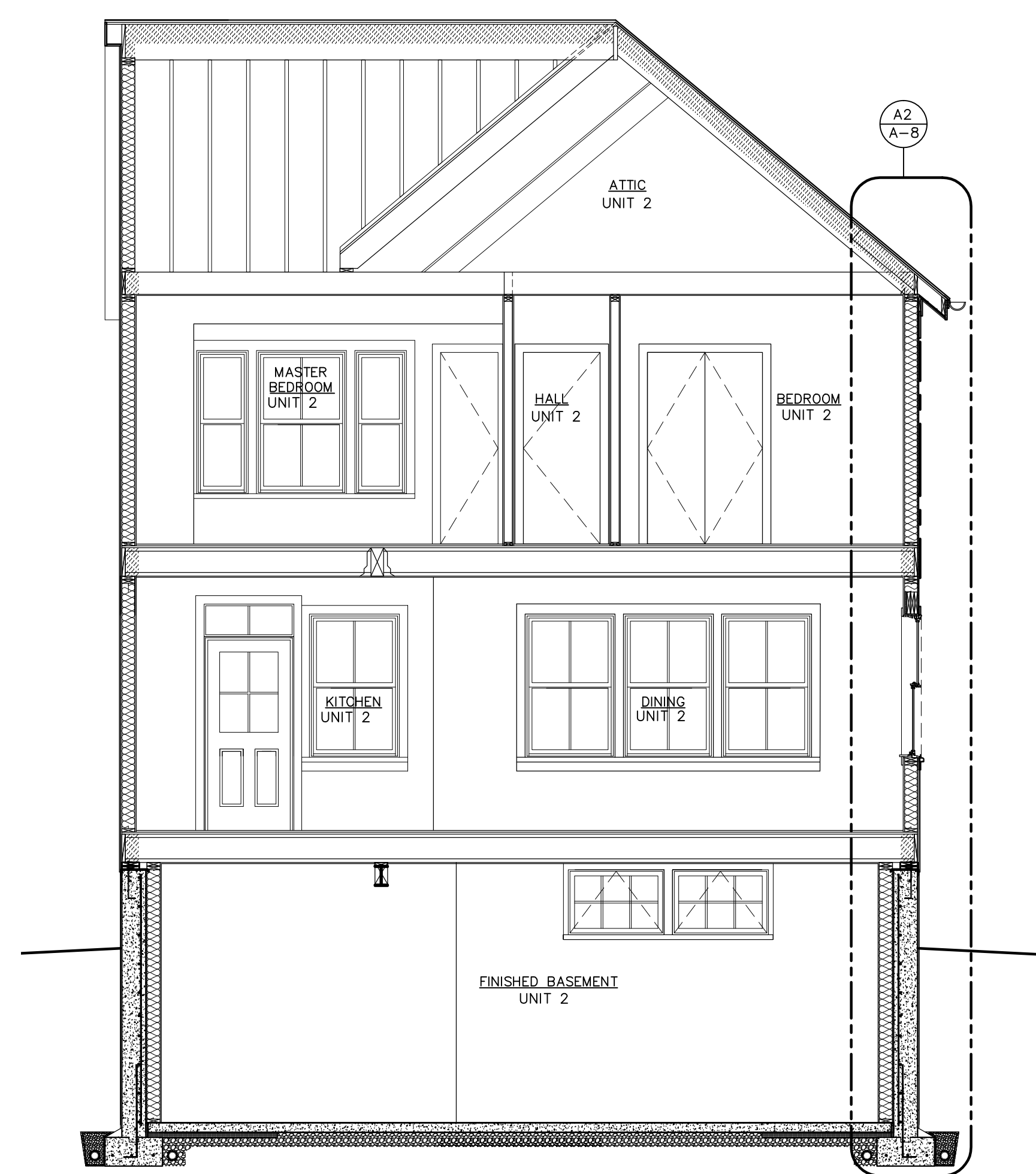
REVISIONS:	DATE
PERMIT ISSUE	12-04-22
WINDOW SCHEDULE	01-03-23
WINDOW SCH. Q UNITS & CONSTRUCTION ISSUE	02-06-23

SCALE	AS NOTED	DRAWN	M.R.
DATE	12-04-22	CHECK	R.A.B.
FRONT AND LEFT SIDE ELEVATIONS, WINDOW SCHEDULE			<b>A-5</b>





A1 REAR ELEVATION  
SCALE: 1/4" = 1'-0"



A2 SECTION AT UNIT 2 LOOKING TOWARDS REAR YARD  
SCALE: 1/4" = 1'-0"



B1 RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

ELEVATION KEY TO PAINT COLORS & ROOF SELECTIONS FOR HOUSE, ADDITION AND NEW SHED

- 1 NEW AND EXISTING TRIMS, BRACKETS, SOFFITS, FASCIAS, PORCH POSTS, RAILINGS, AND PORCH FLOORS:  
BENJAMIN MOORE  
COLOR: 1035 CAMBRIDGE RIVERBED
- 2 TIMBERLANE SHUTTERS AT FIRST FLOOR FRONT ELEVATION & ADDITION REAR ELEVATION:  
COLOR: OLD ESSEX GREEN
- 3 JAMES HARDIE PLANK LAP CEMENT SIDING AT ADDITION:  
COLOR: MONTEREY TAUPE  
NOTE: JAMES HARDIE PLANK LAP CEMENT SIDING WILL BE SMOOTH FACED.  
JAMES HARDIE PLANK LAP CEMENT SIDING TO BE 5" EXPOSURE, TO MATCH EXISTING WOOD CLAPBOARD SIDING EXPOSURE.
- 3A EXISTING WOOD CLAPBOARD SIDING (5" EXPOSURE) TO REMAIN AND NEW AND EXISTING PORCH CEILINGS:  
ALL TO BE PAINTED TO MATCH JAMES HARDIE'S MONTEREY TAUPE, HARDIE PLANK LAP SIDING COLOR.
- 4 NEW MARVIN WINDOWS:  
COLOR: EBONY
- 4A EXISTING FRONT WOOD WINDOWS TO REMAIN ARE TO BE PAINTED TO MATCH MARVIN'S EBONY WINDOW COLOR. EXISTING FRONT WINDOWS ARE TO HAVE NEW STORM WINDOWS.  
COLOR: EBONY/BLACK.
- 4B EXTERIOR DOORS, EXISTING AND NEW, ARE TO BE PAINTED TO MATCH MARVIN'S EBONY WINDOW COLOR.
- 5 ASPHALT SHINGLE ROOF FOR EXISTING AND ADDITION ROOFS, AND NEW SHED ROOF:  
GAF TIMBERLINE HDZ  
COLOR: CHARCOAL
- 6 STANDING SEAM METAL ROOFS AT NEW PORCHES AT ADDITION:  
DREXEL METAL  
COLOR: MATTE BLACK

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SIGNATURE	DATE
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TWO-FAMILY DWELLING FRIARS' CLUB PARTNERS, LLC AT 22 DICKINSON STREET PRINCETON, NEW JERSEY 08540	
REVISIONS:	DATE
PERMIT ISSUE	12-04-22
CSMT. UNIT	01-03-23
CONSTRUCTION ISSUE	02-06-23

SCALE	AS NOTED	DRAWN	M.R.
DATE	12-04-22	CHECK	R.A.B.
REAR AND RIGHT SIDE ELEVATIONS, SECTION			A-6